





**PURPOSE AND INTENT**

1. THIS PLAN SET IS SUBMITTED FOR DEFINITIVE SITE PLAN APPROVAL.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
2. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
3. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL SITE CONSTRUCTION SHALL COMPLY WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS STANDARDS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
7. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
8. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING HORIZONTAL AND VERTICAL MEASUREMENTS FOR ALL SUBSURFACE STRUCTURES. THIS INFORMATION SHALL BE REPORTED TO THE ENGINEER.
10. TRASH AND RECYCLING COLLECTION AREAS ARE LOCATED WITHIN THE BUILDINGS.
11. STANDARD PARKING SPACES ARE 9' X 18', TYPICAL SITE DRIVEWAYS ARE 24' WDE. HANDICAP PARKING SPACES AND RAMPS SHALL MEET ADA AND MASSDOT REQUIREMENTS.
12. LOCATIONS OF EXISTING UNDERGROUND UTILITIES / OBSTRUCTIONS / SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES / OBSTRUCTIONS / SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES / OBSTRUCTIONS / SYSTEMS, WHETHER OR NOT SHOWN HEREON.
13. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
14. RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
15. WHERE EXISTING UTILITY LINES / STRUCTURES ARE TO BE CUT / BROKEN DOWN / ABANDONED, LINES / STRUCTURES SHALL BE PLUGGED / CAPPED / FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
16. THE CONTRACTOR SHALL ENCASE AND/OR SLEEVE SEWER AND WATER MAINS WHERE THE CROWN OF THE SEWER PIPE IS LESS THAN 18 INCHES BELOW THE INVERT OF THE WATER PIPE AND WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET, AS REQUIRED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
17. STRUCTURE DETAILS FROM INDEPENDENT VENDORS ARE CONSTANTLY CHANGING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT DETAILS SHOWN MATCH CURRENT DETAILS AND SPECIFICATIONS FROM VENDORS.
18. ALL PROPOSED TOP OF VERTICAL CURB ELEVATIONS ARE 6 INCHES ABOVE THE BOTTOM OF CURB UNLESS OTHERWISE SHOWN.
19. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW PAVING.
20. AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
21. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
22. CONTRACTOR SHALL VERIFY ALL PROPOSED TOP OF CURB ELEVATIONS BEFORE PROCEEDING WITH ANY CONSTRUCTION AND ADVISE THE ENGINEER OF ANY DISCREPANCY WHICH MAY IMPACT DESIGN.
23. ALL DISTURBED AREAS NOT COVERED WITH PAVEMENT, STRUCTURES, INDIVIDUAL PLANTINGS, OR MULCH SHALL HAVE LOAM AND SOD, OR LOAM AND SEED AS SHOWN ON THE LANDSCAPE PLANS OR AS DIRECTED BY THE ENGINEER.
24. ALL UNDERGROUND STRUCTURES AND UTILITIES SHALL BE CAPABLE OF WITHSTANDING H2O WHEEL LOADS.
25. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY AT NO ADDITIONAL COST BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
26. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
27. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADS.
28. SEE LANDSCAPE PLANS FOR GRADING, LAYOUT AND PLANTING IN THE COURTYARD. SEE ARCHITECTURAL PLANS FOR DETAILS AND MATERIALS OF STEPS, WALLS, AND WALKWAYS.

**SURVEY NOTES**

1. PROJECT SOURCE BENCHMARK, RECORD LOCATIONS OF UTILITIES AND STRUCTURES, AND SERVICE CONNECTIONS ARE BASED ON A PLAN BY NITSCH ENGINEERING ENTITLED "EXISTING CONDITIONS PLAN, CITY SQUARE, EATON PLACE, WORCESTER, MASSACHUSETTS," DATED SEPTEMBER 21, 2023.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE CITY ENGINEERING OFFICES, CITY D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

**REGULATORY NOTES**

1. CONTRACTOR SHALL CONTACT "DIG-SAFE" FOR AN UNDERGROUND UTILITY MARKING AT 811 AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
3. ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
4. CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
5. CONTRACTOR SHALL INSTALL ALL PARKING AREAS AND WALKWAYS IN ACCORDANCE WITH APPLICABLE ADA AND MAAB REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - HANDICAPPED SPACES AND STRIPED AREA SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - HANDICAPPED RAMPS SHALL NOT EXCEED 8% FOR A MAXIMUM VERTICAL DISTANCE OF 6 INCHES.
  - SIDEWALKS SHALL HAVE A MAXIMUM SLOPE IN THE PATH OF TRAVEL OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. CONTRACTOR SHOULD NOT LAYOUT SLOPES EXCEEDING 4.5% AND 1.5% RESPECTIVELY TO ALLOW FOR CONSTRUCTION TOLERANCES. IF THE CONTRACTOR DETERMINES THAT THE REQUIRED SLOPES CANNOT BE ACHIEVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING THE INFORMATION TO THE ENGINEER FOR RESOLUTION.

**ASSESSORS:**

MAP 2, BLOCK 23B, LOT 00A-1

**ZONING:**

BG-6, (CCOD-D & DSOD OVERLAY)

**REFERENCES:**

DEED BOOK 46426, PAGE 196  
 PLAN BOOK 490, PLAN 83  
 PLAN BOOK 918, PLAN 52  
 DEED BOOK 57288, PAGE 329 (EASE.)

**RECORD OWNER:**

FORESIGHT CAPITAL LLC  
 125 GOFF AVENUE  
 PAWTUCKET, RI 02860

**SITE ADDRESS:**

CITY SQUARE  
 EATON PLACE

3 Eaton Place  
 Worcester, Massachusetts 01608

**ASSESSORS:**

MAP	BLOCK	LOT
2	23B	00A-1

**PREPARED FOR:**

FORESIGHT  
 CAPITAL LLC

125 Goff Avenue, Suite 2101  
 Pawtucket, RI 02860

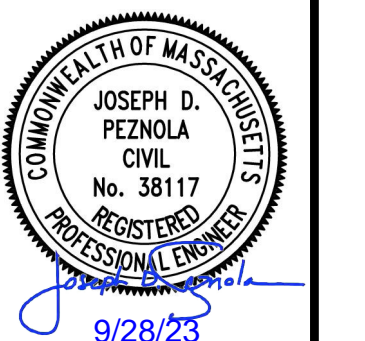
HANCOCK  
 ASSOCIATES

Civil Engineers

Land Surveyors

Environmental  
 Consultants

315 Elm Street, Marlborough, MA 01752  
 Voice (508) 460-1111, Fax (508) 460-1121  
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**LEGEND**

	ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES	× 232.6	SPOT ELEVATION		LANDSCAPING/GRASS
	TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES	26.8 18"P	PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES		CONCRETE WALKWAY
	WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT	26.8 12"M	PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES		
	GAS MAIN WITH SIZE & GATE VALVE	☆	LIGHT POLE		
	SURFACE CONTOUR	RCP	REINFORCED CONCRETE PIPE		
	EDGE OF PAVEMENT	SMH	SEWER MANHOLE		
	CURB WITH TOP AND BOTTOM CURB ELEVATION	DMH	DRAIN MANHOLE		
	SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION	CB	CATCH BASIN		
	DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN	RCB	ROUND CATCH BASIN		
	COMMUNICATION LINE PAINT MARK	⊖	SIGN		
	6' CHAIN LINK CONSTRUCTION FENCE	⊙	MANHOLE (UNKNOWN UTILITY)		
	RETAINING WALL	VGC	VERTICAL GRANITE CURB		
	CONSTRUCTION STOCKPILE	VCC	VERTICAL CONCRETE CURB		
		⊕	ELECTRIC HAND HOLE		
		⊖	NOT FIELD OBSERVED		
		NFO	NO PIPES VISIBLE		
		NPV	TOP OF HOOD		
		TOH	BOLLARD		
		○	CONNECTION UNKNOWN		
		CU	LANDSCAPE		
		LS	TYPICAL		
		TYP	OPEN SPACE		
		OS	AREA DRAIN		
		A.D.			

**TREE ABBREVIATIONS**

M	MAPLE
O	OAK
P	PINE
CH	CHERRY
A	APPLE


NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

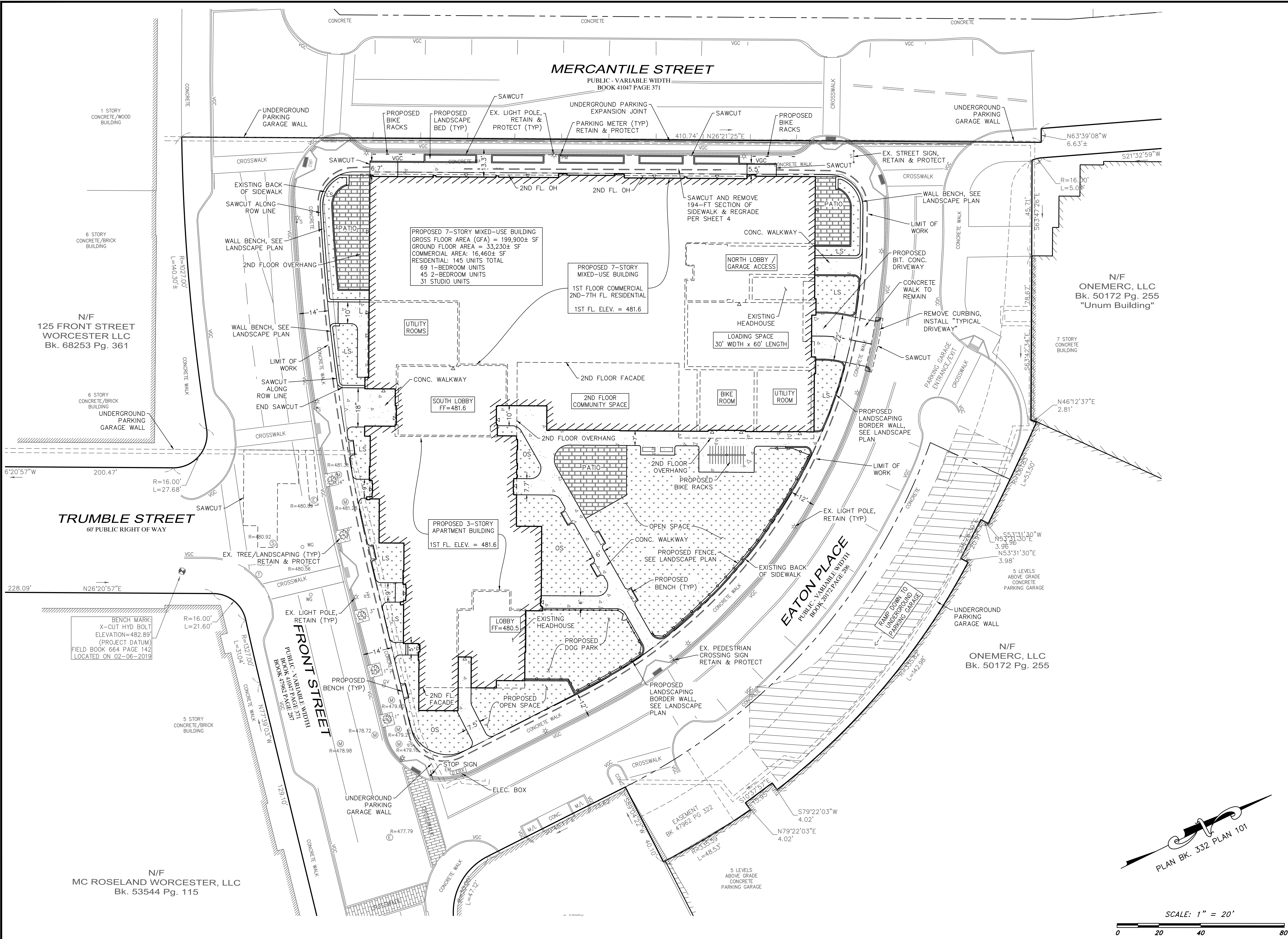
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APPROVED BY:	JDP	CHECK BY:	KAC

**NOTES & LEGEND**

PLOT DATE:	Sep 27, 2023 12:53 pm
DWG:	26660DSP.dwg
LAYOUT:	NL
SHEET:	2 OF 7
PROJECT NO.:	26660

**C2**





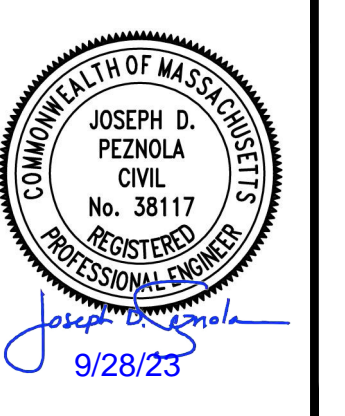
**SITE ADDRESS:**  
**CITY SQUARE  
 EATON PLACE**

3 Eaton Place  
 Worcester, Massachusetts 01608

**ASSESSOR:**  
 MAP 2 BLOCK 23B LOT 00A-1

**PREPARED FOR:**  
**FORESIGHT  
 CAPITAL LLC**  
 125 Goff Avenue, Suite 2101  
 Pawtucket, RI 02860

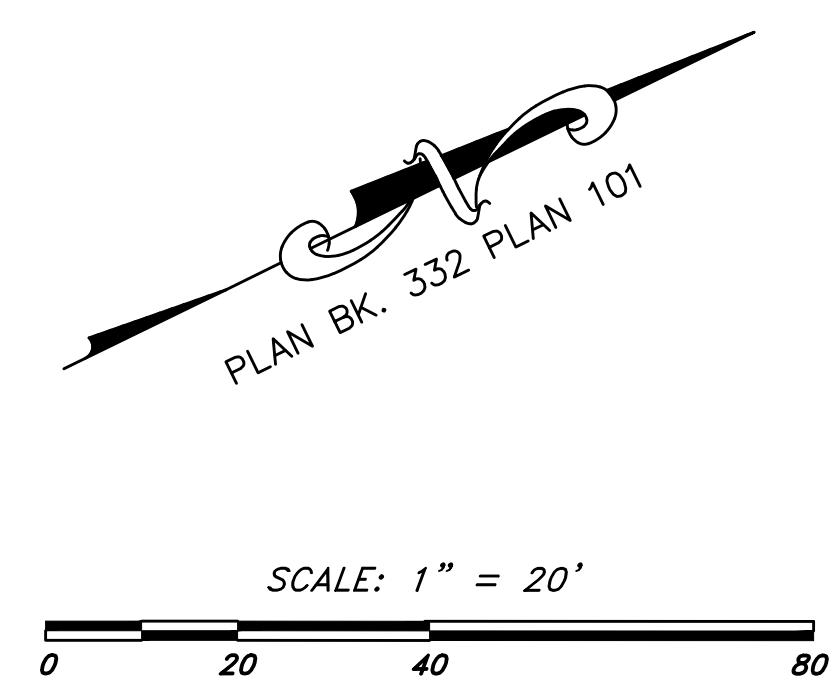
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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 9/28/2023 DESIGN BY: RMO  
 SCALE: 1"=20' DRAWN BY: RMO  
 APPROVED BY: JDP CHECK BY: KAC

**LAYOUT &  
 MATERIALS  
 PLAN**  
 PLOT DATE: Sep 27, 2023 12:53 pm  
 DWG: 26660D.SP.dwg  
 LAYOUT: LM  
 SHEET: 3 OF 7  
 PROJECT NO.: 26660



PATH: \\V:\V\A\304\_3D\Projects\26660-Foresight-Worcester-2-3 Eaton Place-Reserve\09\26660



SITE ADDRESS:

# CITY SQUARE EATON PLACE

3 Eaton Place  
Worcester, Massachusetts 01608

ASSESSORS:

MAP 2 BLOCK 23B LOT 00A-1

PREPARED FOR:

## FORESIGHT CAPITAL LLC

125 Goff Avenue, Suite 2101  
Pawtucket, RI 02860

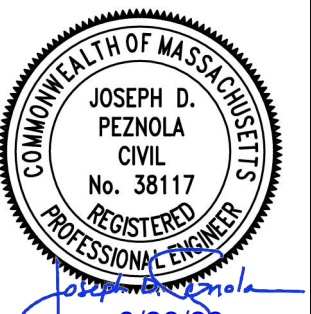
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## GRADING, DRAINAGE & UTILITIES PLAN

PLOT DATE: Sep 27, 2023 12:53 pm

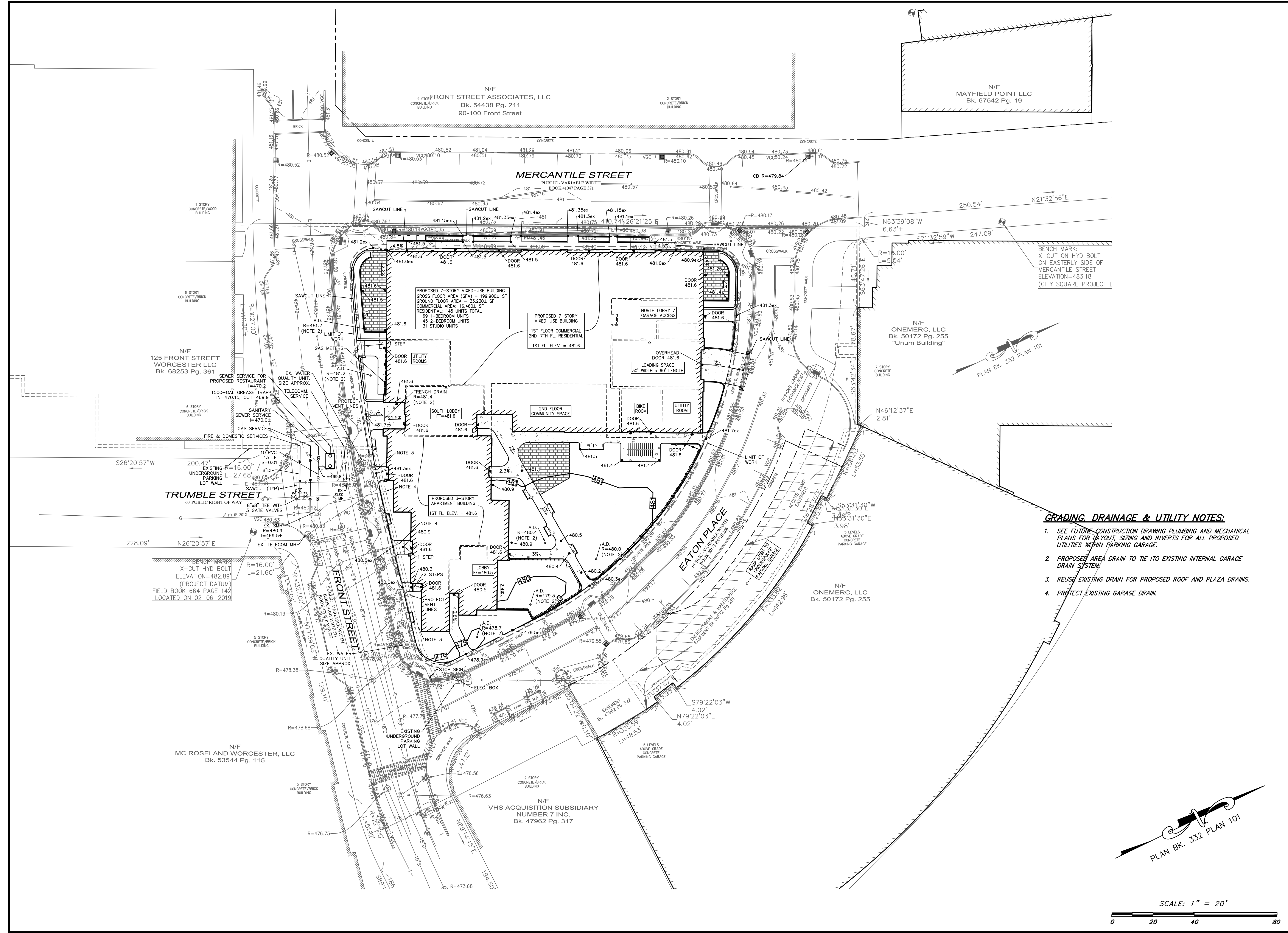
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LAYOUT: GDU

SHEET: 4 OF 7

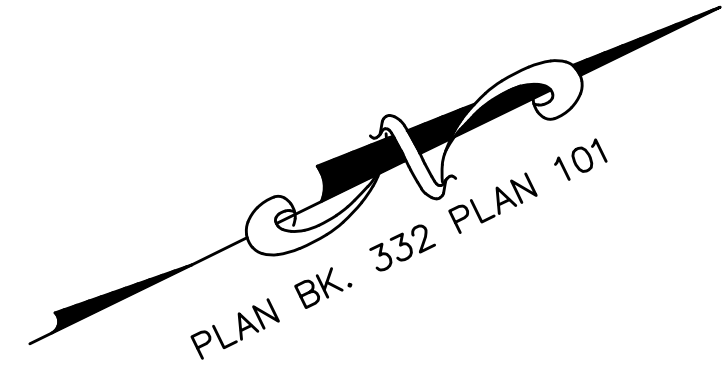
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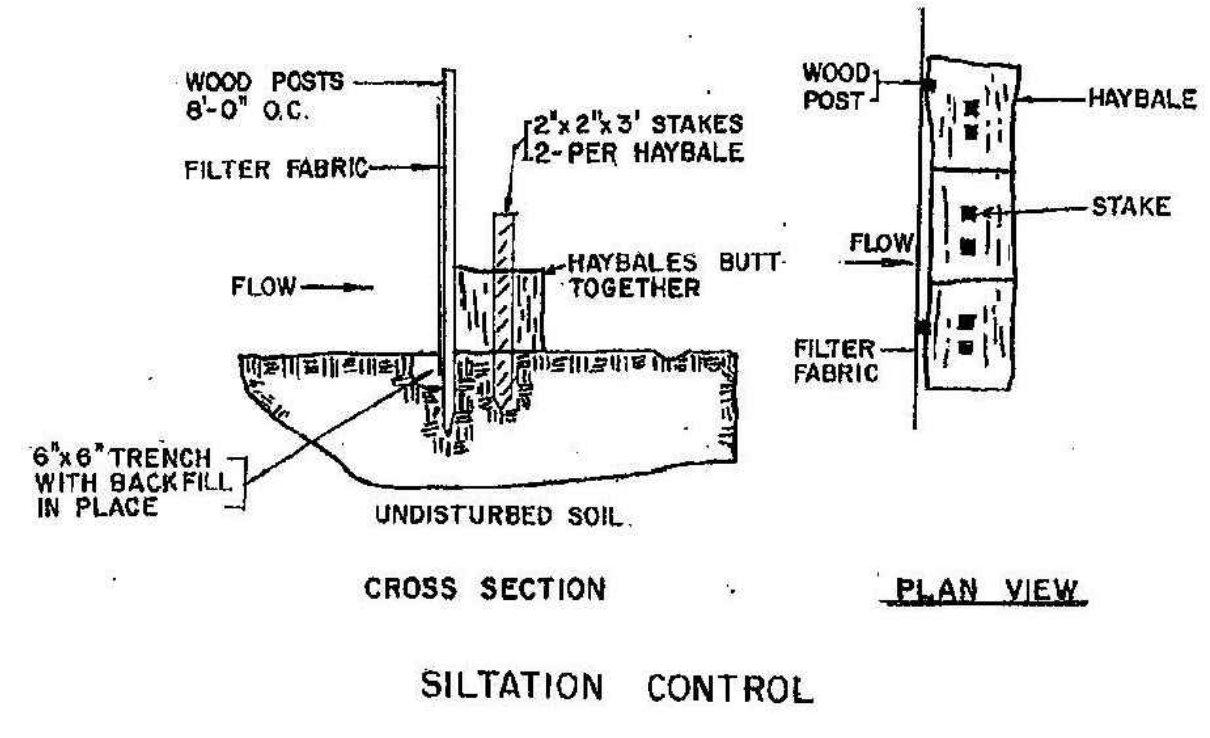
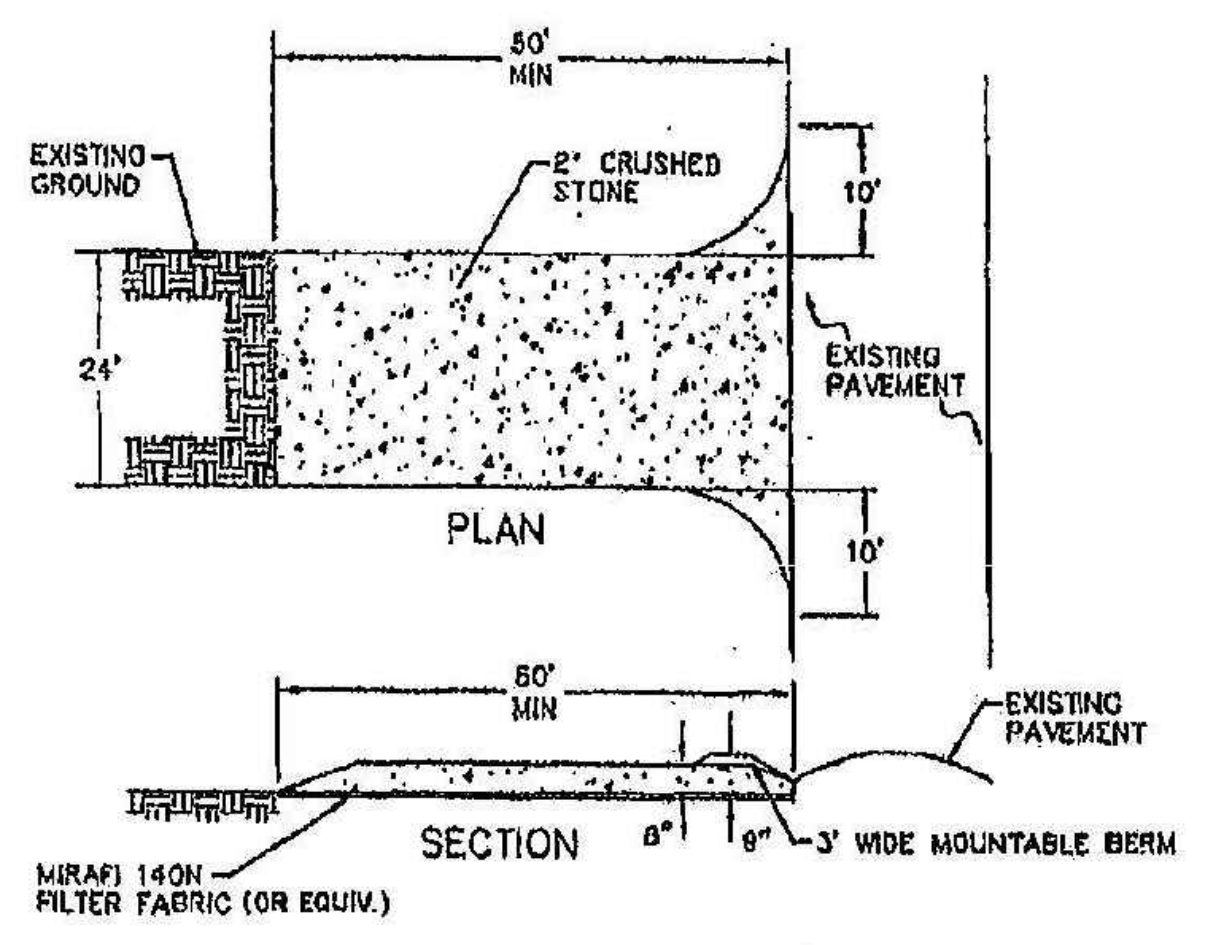
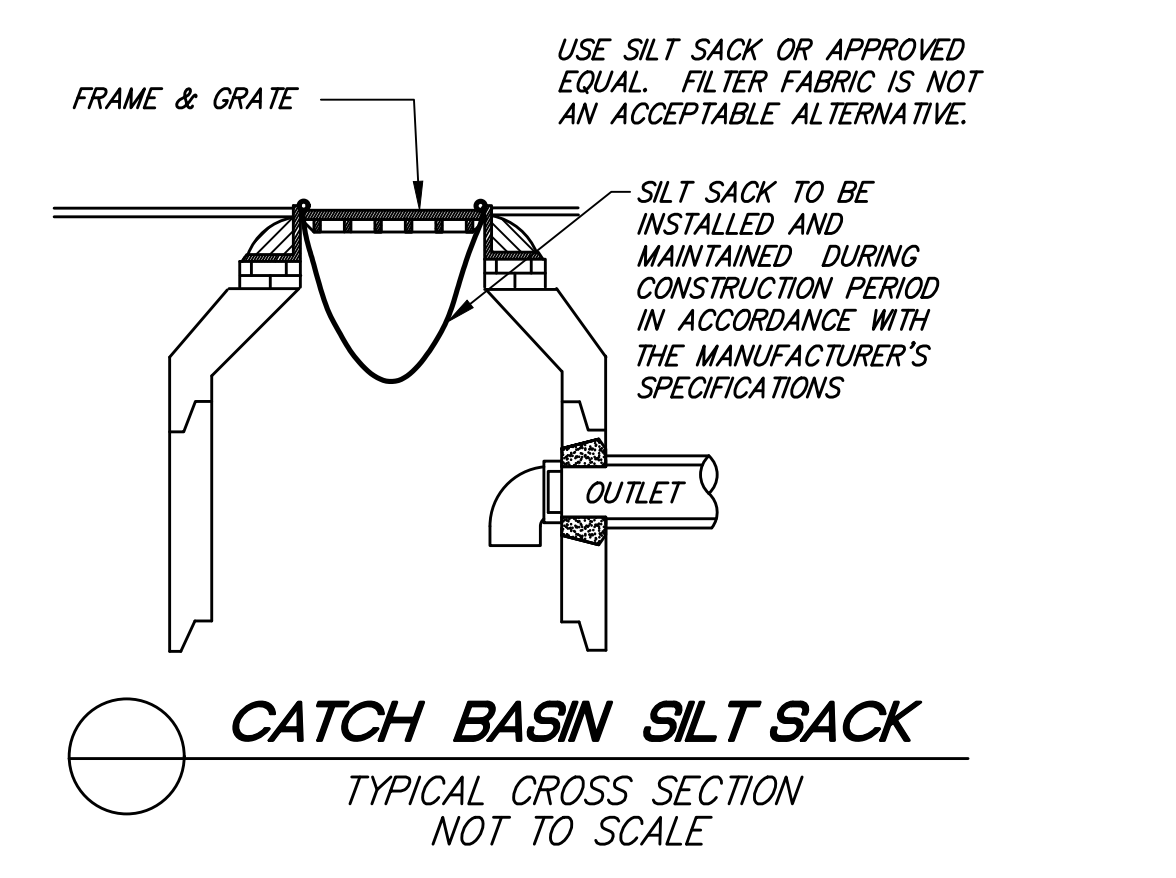
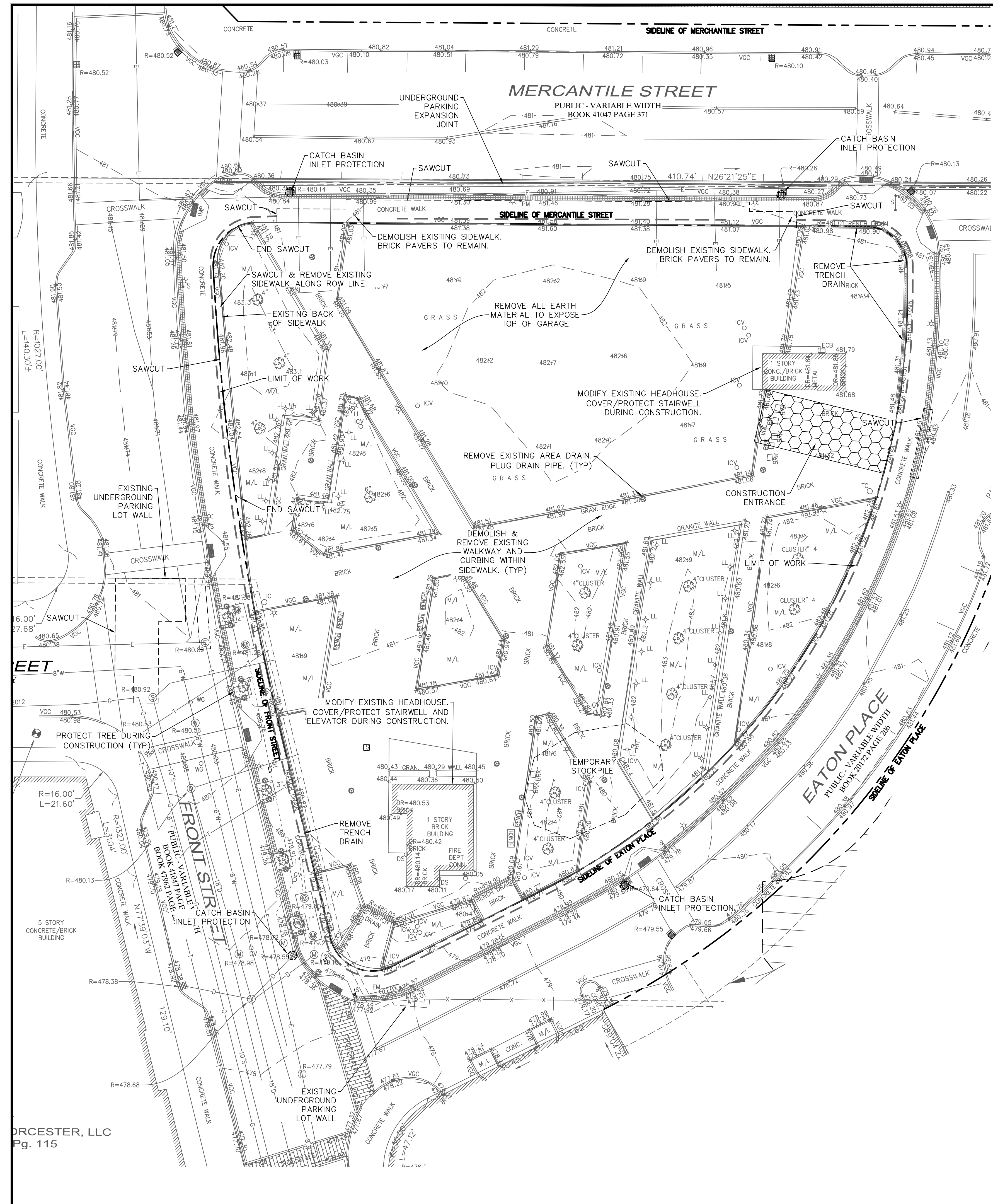
### GRADING, DRAINAGE & UTILITY NOTES:

- SEE FUTURE CONSTRUCTION DRAWING PLUMBING AND MECHANICAL PLANS FOR LAYOUT, SIZING AND INVERTS FOR ALL PROPOSED UTILITIES WITHIN PARKING GARAGE.
- PROPOSED AREA DRAIN TO TIE INTO EXISTING INTERNAL GARAGE DRAIN SYSTEM.
- REUSE EXISTING DRAIN FOR PROPOSED ROOF AND PLAZA DRAINS.
- PROTECT EXISTING GARAGE DRAIN.



SCALE: 1" = 20'  
0 20 40 80





**EROSION AND SEDIMENTATION PLAN**

BEST MANAGEMENT PRACTICES (BMP) FOR EROSION AND SEDIMENTATION CONTROL ARE STAKED STRAW WATTLES, FILTER FENCES, HYDRO SEEDING, AND PHASED DEVELOPMENT. MANY STORMWATER BMP TECHNOLOGIES (E.G., INFILTRATION TECHNOLOGIES) ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF AND MUST BE PROTECTED FROM CONSTRUCTION-RELATED SEDIMENT LOADINGS. CONSTRUCTION BMP'S WILL BE INSPECTED DAILY AND MAINTAINED AS REQUIRED TO ENSURE PROPER FUNCTION.

IN DEVELOPING THE PROPOSED PROJECT CERTAIN MEASURES WILL BE IMPLEMENTED TO MINIMIZE IMPACTS EROSION AND SEDIMENTATION COULD HAVE ON SURROUNDING AREAS. THIS SECTION ADDRESSES ITEMS THAT INVOLVE PROPER CONSTRUCTION TECHNIQUES, CLOSE SURVEILLANCE OF WORKMANSHIP, AND IMMEDIATE RESPONSE TO EMERGENCY SITUATIONS. THE DEVELOPER MUST BE PREPARED TO PROVIDE WHATEVER REASONABLE MEASURES ARE NECESSARY TO PROTECT THE ENVIRONMENT DURING CONSTRUCTION AND TO STABILIZE ALL DISTURBED AREAS AS SOON AS CONSTRUCTION ENDS.

- PRE-CONSTRUCTION**
1. THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO STRAW WATTLES, SILT FENCE AND CRUSHED STONE.
  2. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED ON THE PLAN OR IN THE ORDER OF CONDITIONS.
  3. UNSUITABLE EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
  4. CONSTRUCTION ENTRANCE SHALL BE INSTALLED.
  5. EXISTING CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS.

- PRELIMINARY SITE WORK**
1. EXCAVATED MATERIALS SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWN-SLOPE SIDE OF THE PILES AND SIDE SLOPES SHALL NOT EXCEED 2:1.
  2. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL STRAW BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE CONSIDERED.

- ONGOING SITE WORK**
1. EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED. SEDIMENT BUILT UP BEHIND SILT FENCES SHALL BE REMOVED WHEN LEVEL REACHES ONE HALF WATTLE HEIGHT AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  2. DEWATERING SHALL BE DONE IN A MANNER SO AS NOT TO TRANSMIT SILT, SAND, OR PARTICULATE MATTER TO THE RECEIVING WATER OR EXISTING DRAINAGE SYSTEM.
  3. CATCH BASIN SILT SACKS SHALL BE INSPECTED WEEKLY. SILT SACKS SHALL BE REMOVED AND CLEANED WHEN SEDIMENT IS WITHIN 6" OF THE BOTTOM OF THE GRATE. SEDIMENT SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  4. CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY. STONE SHALL BE REMOVED AND REPLACED WHEN SEDIMENT REACHES TOP OF STONE.
  5. SURROUNDING STREETS SHALL BE INSPECTED DAILY AND SWEEP AS NEEDED TO KEEP PAVED SURFACE FREE OF SOIL AND DEBRIS.
  6. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.

- LANDSCAPING**
1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
  2. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH STRAW, WOOD CHIPS WEIGHTED WITH SNOW FENCE OR BRANCHES, OR OTHER METHODS SHALL BE PROVIDED.
  3. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
  4. THE USE OF HERBICIDES IS STRONGLY DISCOURAGED.
  5. HYDRO SEEDING IS ENCOURAGED FOR STEEP SLOPES. APPLICATION RATES ON SLOPES GREATER THAN 3:1 SHALL HAVE A MINIMUM SEEDING RATE OF 5-LBS/1000 SF. A LATEX OR FIBER TACKIFIER SHALL BE USED ON THESE SLOPES AT A MINIMUM RATE OF 50 LBS. OF TACKIFIER PER 500 GALLONS OF WATER USED.

**SITE ADDRESS:**

**CITY SQUARE  
EATON PLACE**

3 Eaton Place  
Worcester, Massachusetts 01608

**ASSESSORS:**

MAP	BLOCK	LOT
2	23B	00A-1

**PREPARED FOR:**

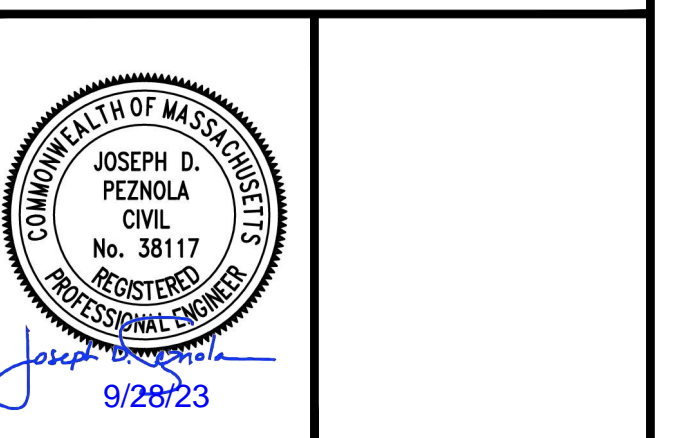
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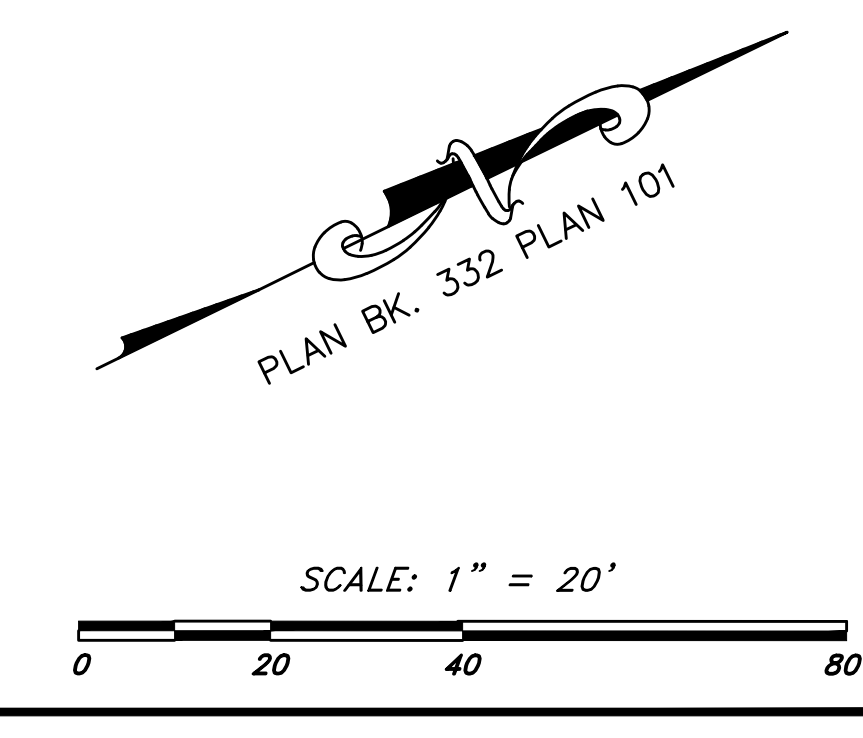


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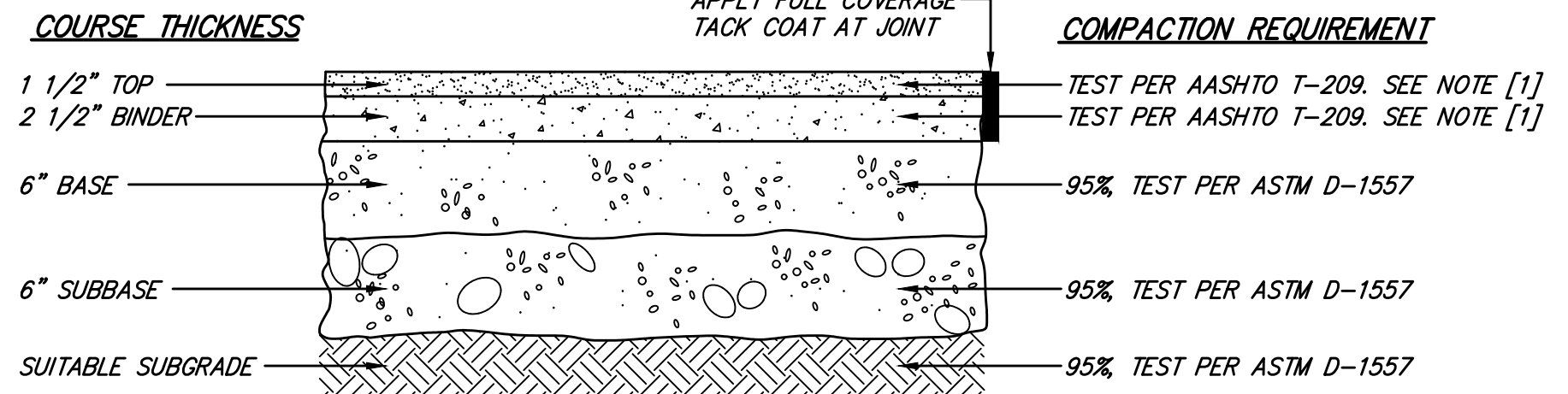
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SCALE: 1" = 20' DRAWN BY: RMO  
APPROVED BY: JDP CHECK BY: KAC

**DEMOLITION,  
EROSION &  
SEDIMENT  
CONTROL PLAN**

PLOT DATE: Sep 27, 2023 12:54 pm  
DWG: 26660D.SP.dwg  
LAYOUT: ESC  
SHEET: 5 OF 7  
PROJECT NO.: 26660



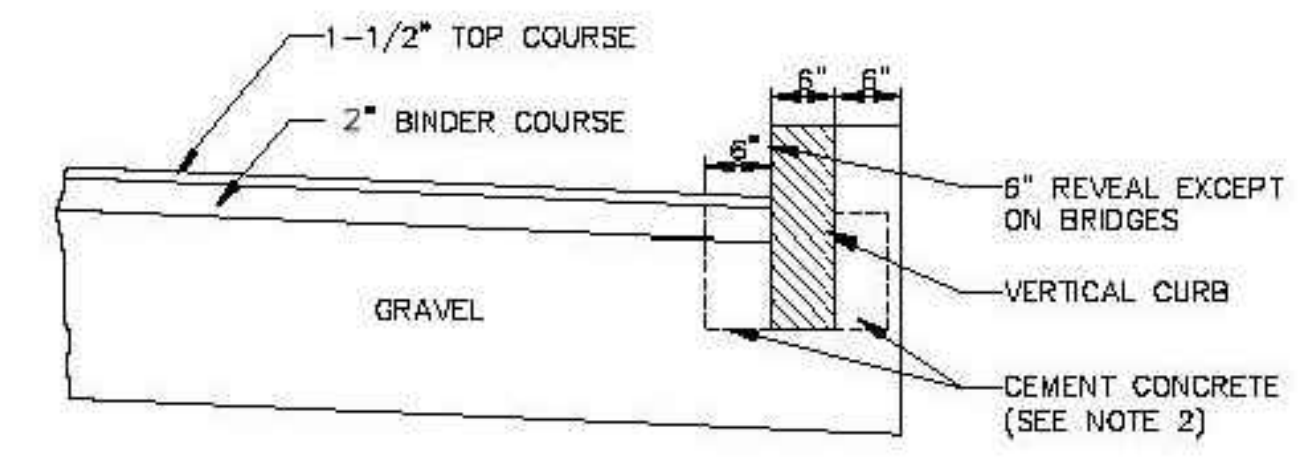




**NOTES:**  
 [1] COMPACT TO TEST AVERAGE OF 95% ±2.5%  
 [2] CONTRACTOR TO CONFIRM EXISTING DEPTH OF PAVEMENT ON TRUMBULL STREET AND COORDINATE WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS ON DEPTH OF PAVEMENT TO BE INSTALLED.

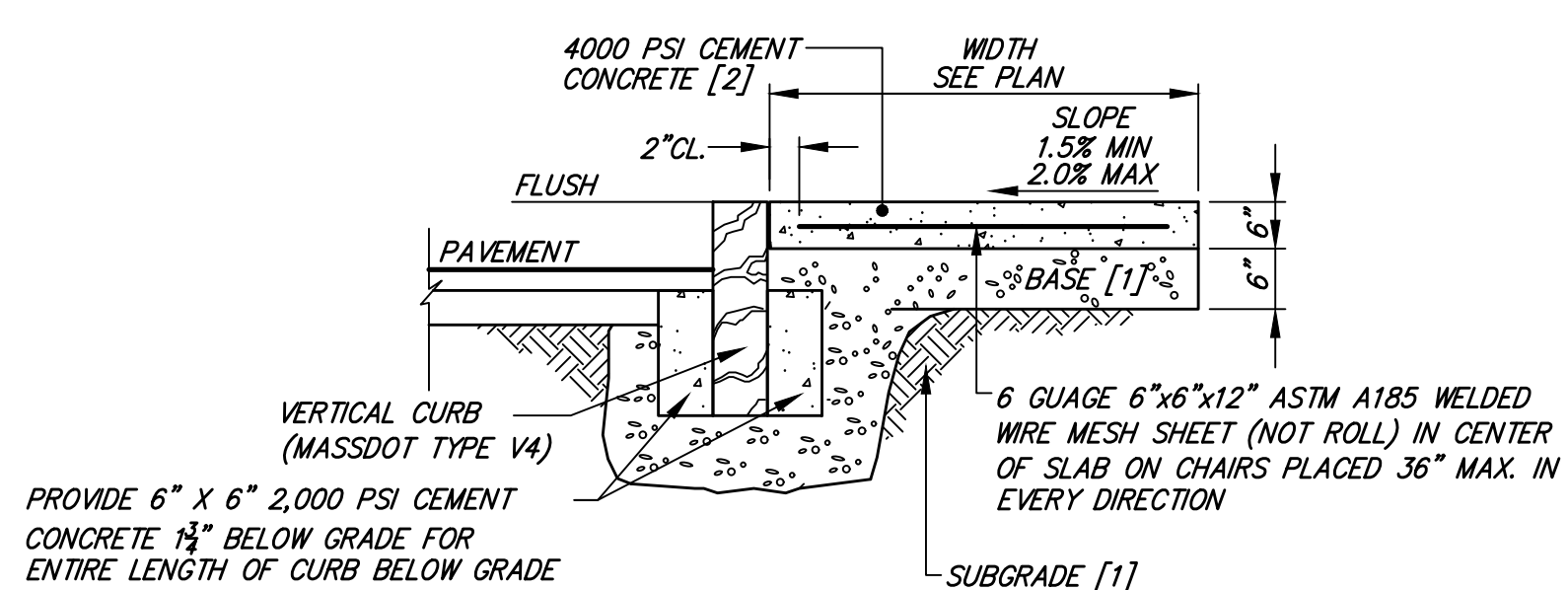
MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	MHD M2.01.7	1 1/2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2

**BITUMINOUS CONCRETE PAVEMENT**  
 TYPICAL CROSS SECTION  
 NOT TO SCALE



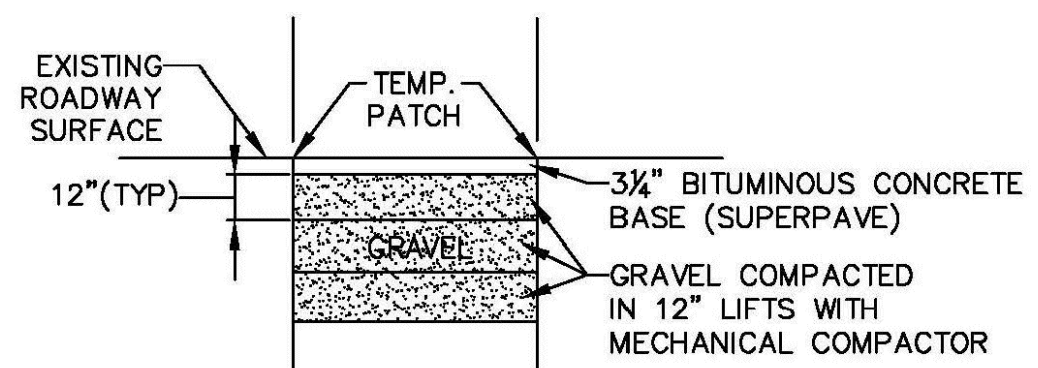
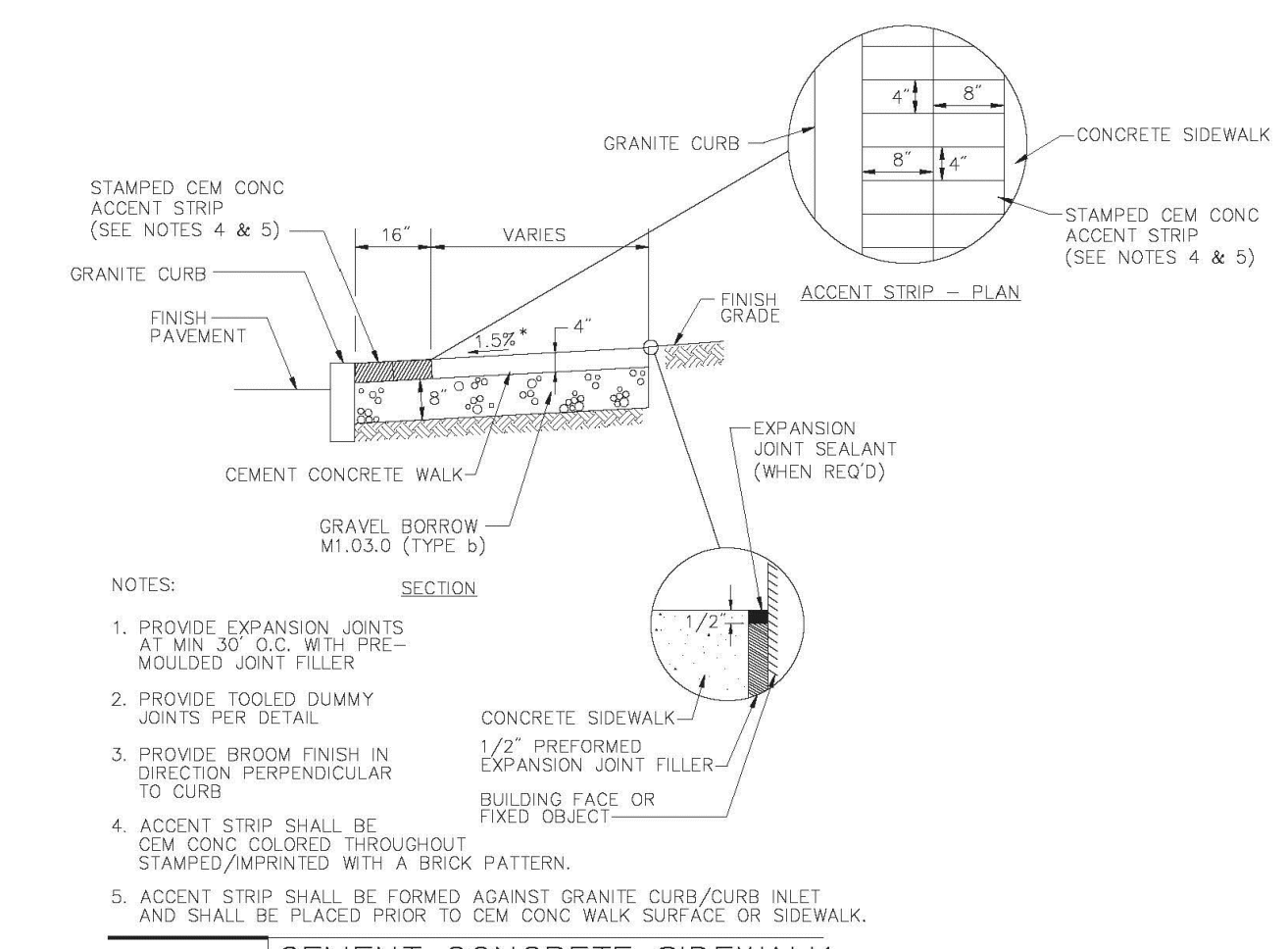
**NOTES:**  
 1. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, REPLACE WITH CEMENT CONCRETE.  
 2. ANY CLASS CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPARTMENT UNDER SECTION M4 OF THE 1973 STANDARD SPECIFICATIONS. ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE SHALL NOT BE USED AS A SUBSTITUTE.  
 3. PAYMENT FOR CLASS B CONCRETE WILL BE PAID FOR UNDER ITEM 446.1.

**METHOD OF SETTING VERTICAL CURB**

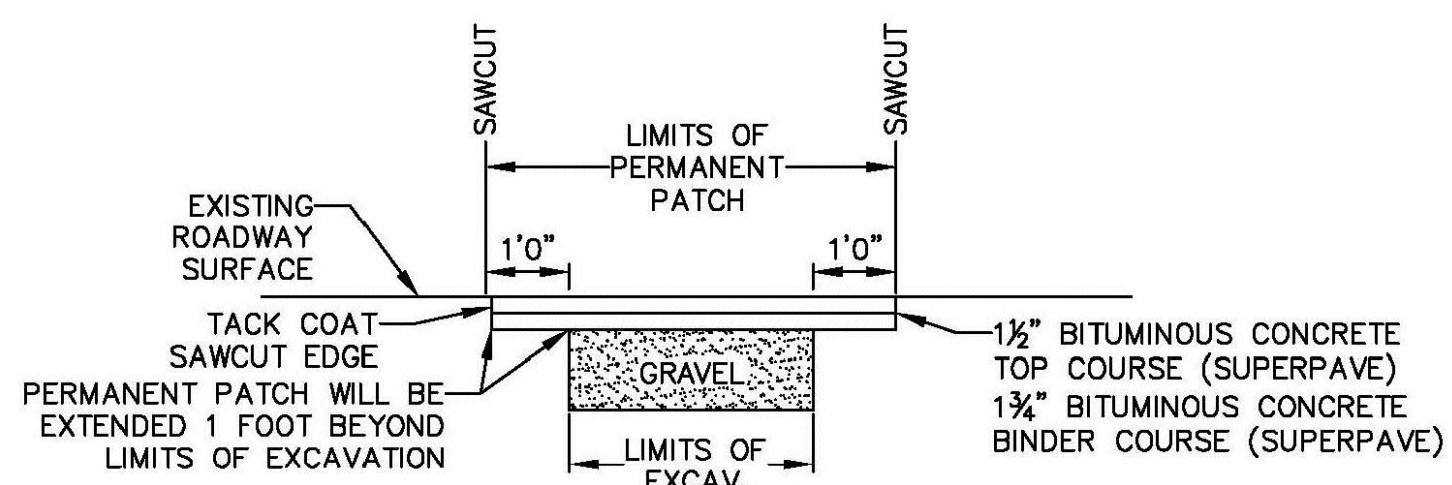


**NOTES:**  
 [1] COMPACT TO 95% PER ASTM D-1557 (IN 6" LIFTS). OCEAN AVENUE SIDEWALK BASE SHALL BE MDOT M1.03.0 TYPE C.  
 [2] CONTROL JOINT EVERY 5 LF, EXPANSION JOINT EVERY 50 LF.

**CEMENT CONCRETE SIDEWALK**  
 CROSS SECTION  
 NOT TO SCALE



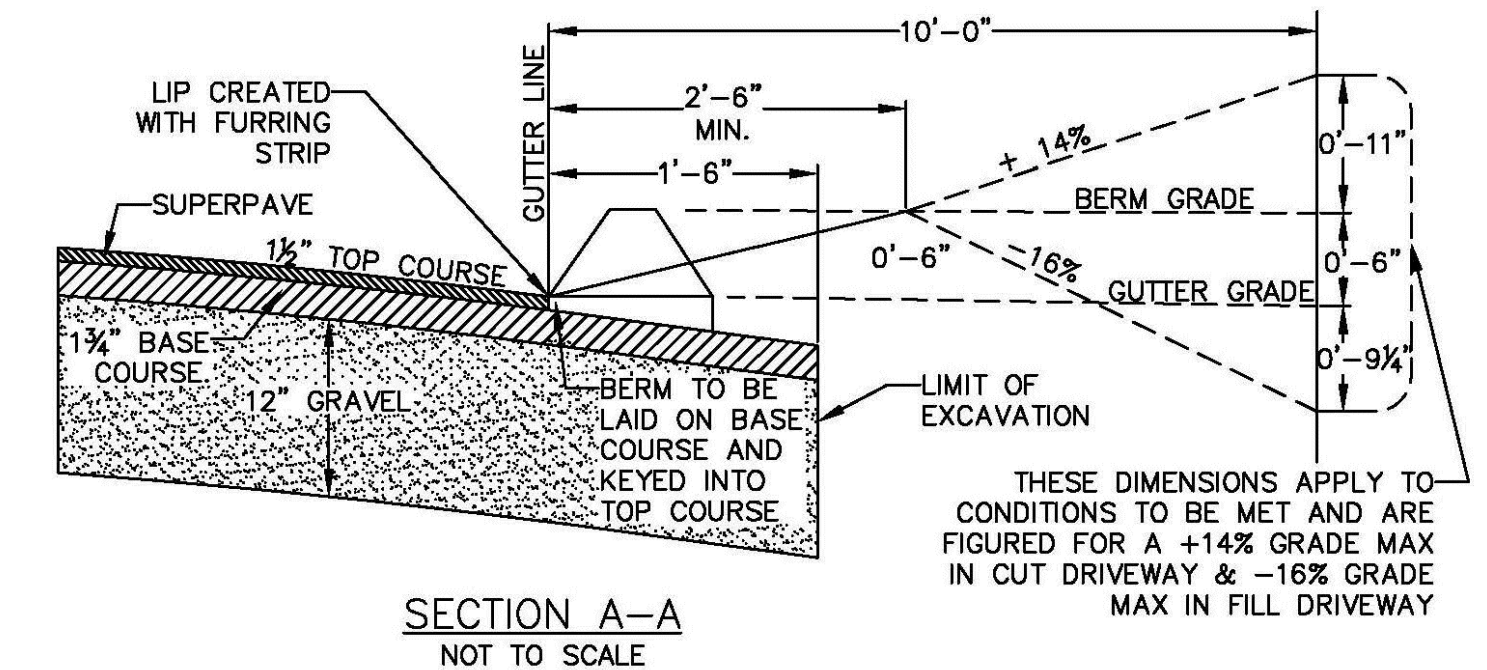
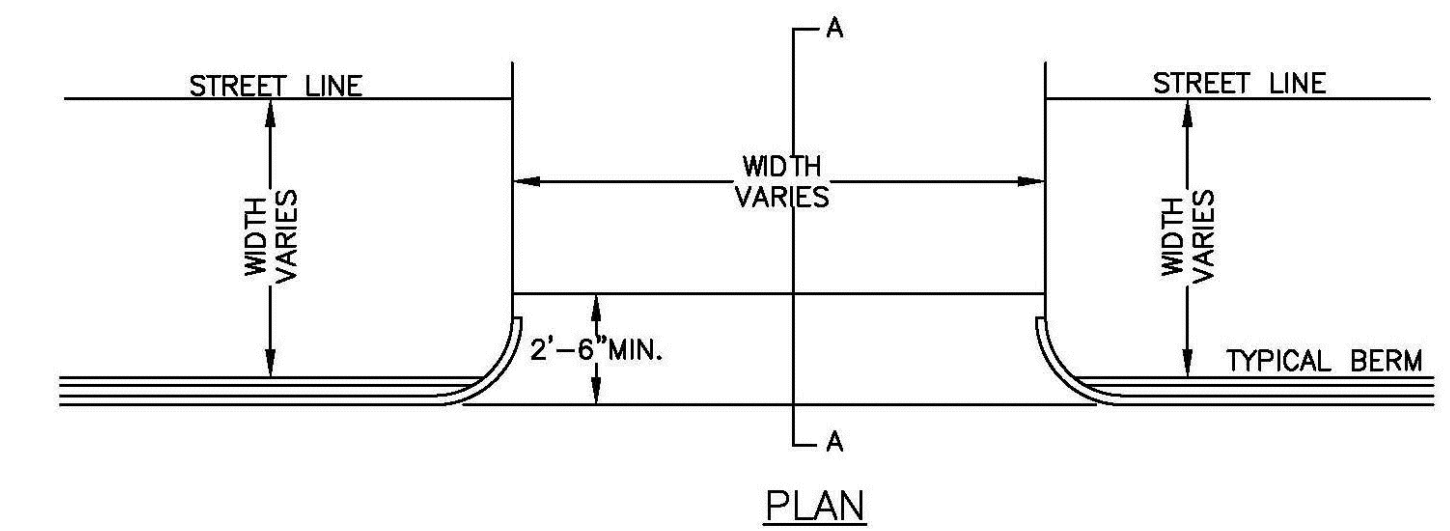
**TEMPORARY PATCH**



**NOTE:**  
 PERMANENT PATCH FOR ROADS HAVING A PAVING BLOCK OR CONCRETE BASE SHALL INCLUDE A LAYER OF CONCRETE EQUAL TO THE DEPTH OF THE EXISTING CONCRETE OR PAVING BLOCK. IN SUCH CASES THE DEPTH OF THE GRAVEL BACKFILL SHALL NOT BE LESS THAN 12 INCHES.

**PERMANENT PATCH**

**TYPICAL TEMPORARY/PERMANENT PATCH DETAIL FOR ROADWAY**



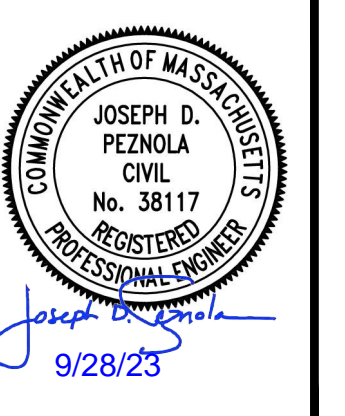
**TYPICAL DRIVEWAY**

**SITE ADDRESS:**  
**CITY SQUARE**  
**EATON PLACE**  
 3 Eaton Place  
 Worcester, Massachusetts 01608

**ASSESSORS:**  
 MAP 2 BLOCK 23B LOT 00A-1

**PREPARED FOR:**  
**FORESIGHT CAPITAL LLC**  
 125 Goff Avenue, Suite 2101  
 Pawtucket, RI 02860

**HANCOCK ASSOCIATES**  
 Civil Engineers  
 Land Surveyors  
 Environmental Consultants  
 315 Elm Street, Marlborough, MA 01752  
 Voice (508) 460-1111, Fax (508) 460-1121  
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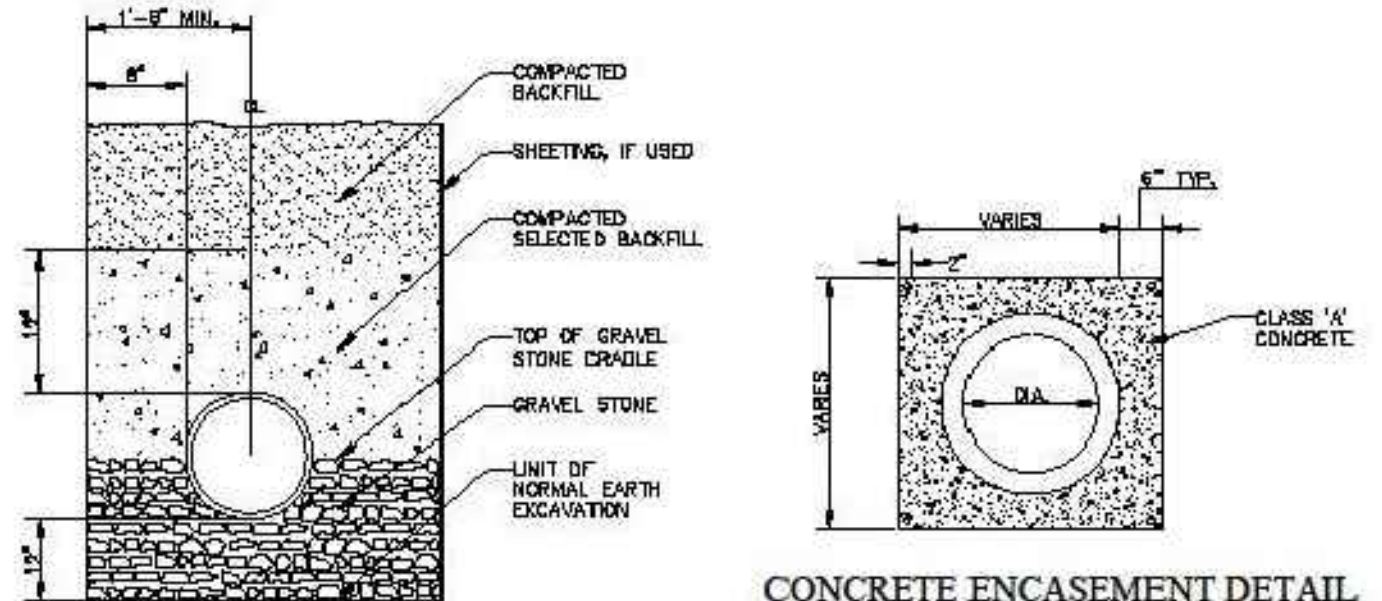
DATE: 9/28/2023 DESIGN BY: RMD  
 SCALE: --- DRAWN BY: RMD  
 APPROVED BY: JDP CHECK BY: KAC

**DETAIL SHEET 1**

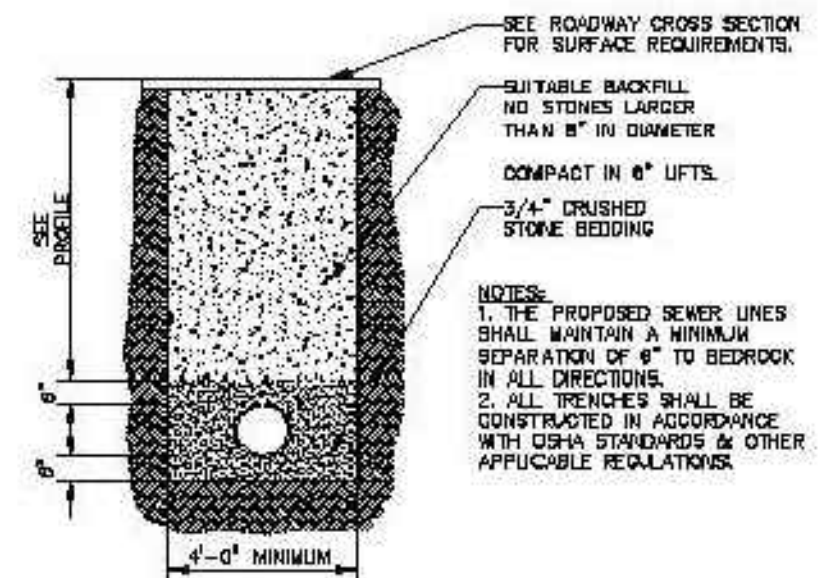
PLOT DATE: Sep 27, 2023 12:54 pm  
 DWG: 26660D.SP.dwg  
 LAYOUT: DET1  
 SHEET: 6 OF 7  
 PROJECT NO.: 26660







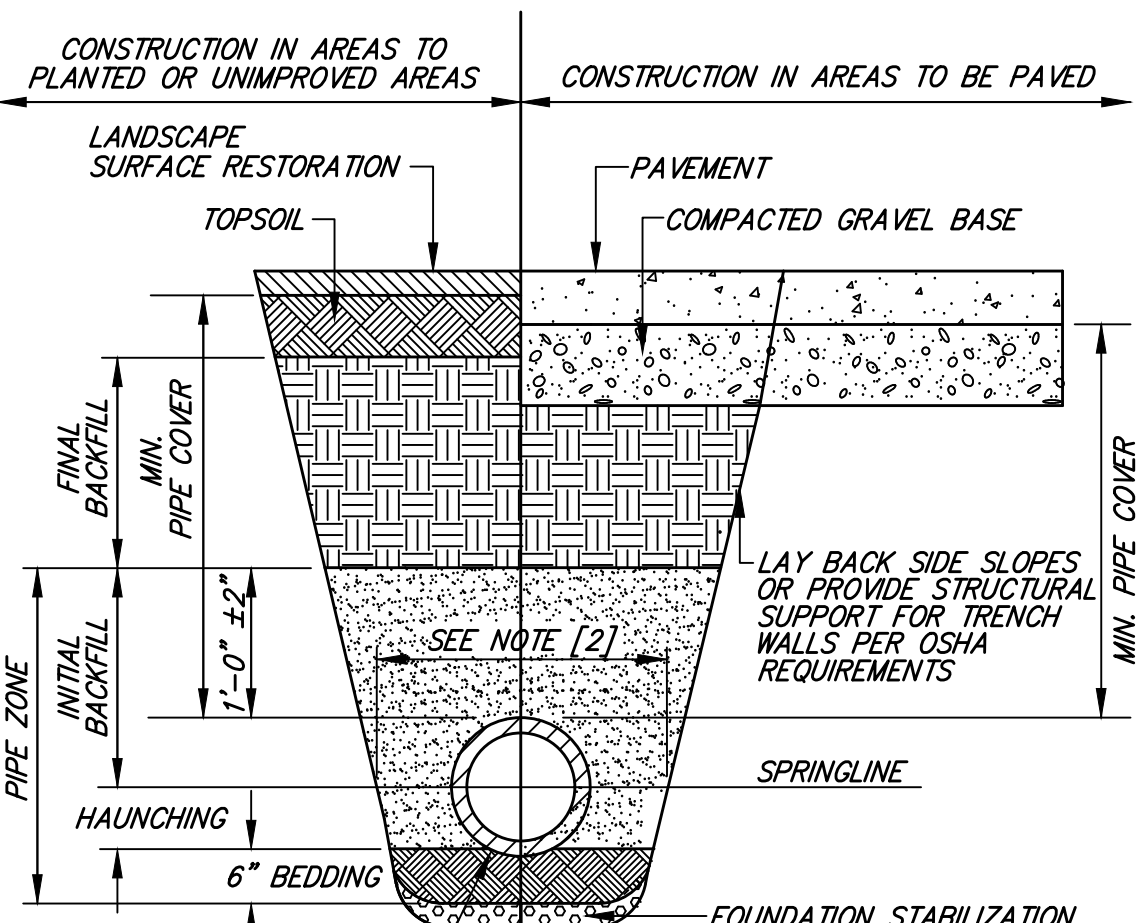
TYPICAL DRAIN MAIN TRENCH



TYPICAL SEWER MAIN TRENCH

TYPICAL TRENCH DETAILS

SEPTEMBER 25, 2009	DEPARTMENT OF PUBLIC WORKS AND PARKS Engineering Division 20 East Worcester St., Worcester MA 01604				
TYPICAL TRENCH DETAILS					
NOT TO SCALE					
SHEET 1 OF 1					



SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE; INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

FOUNDATION, BEDDING, & BACKFILL MATERIALS

PIPE MATERIAL	HDP, PVC	RC, DI
FOUNDATION STABILIZATION	[6]	[6]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[1]	[1]
FINAL BACKFILL	[4]	[4]
MIN. PIPE COVER	[5]	[5]

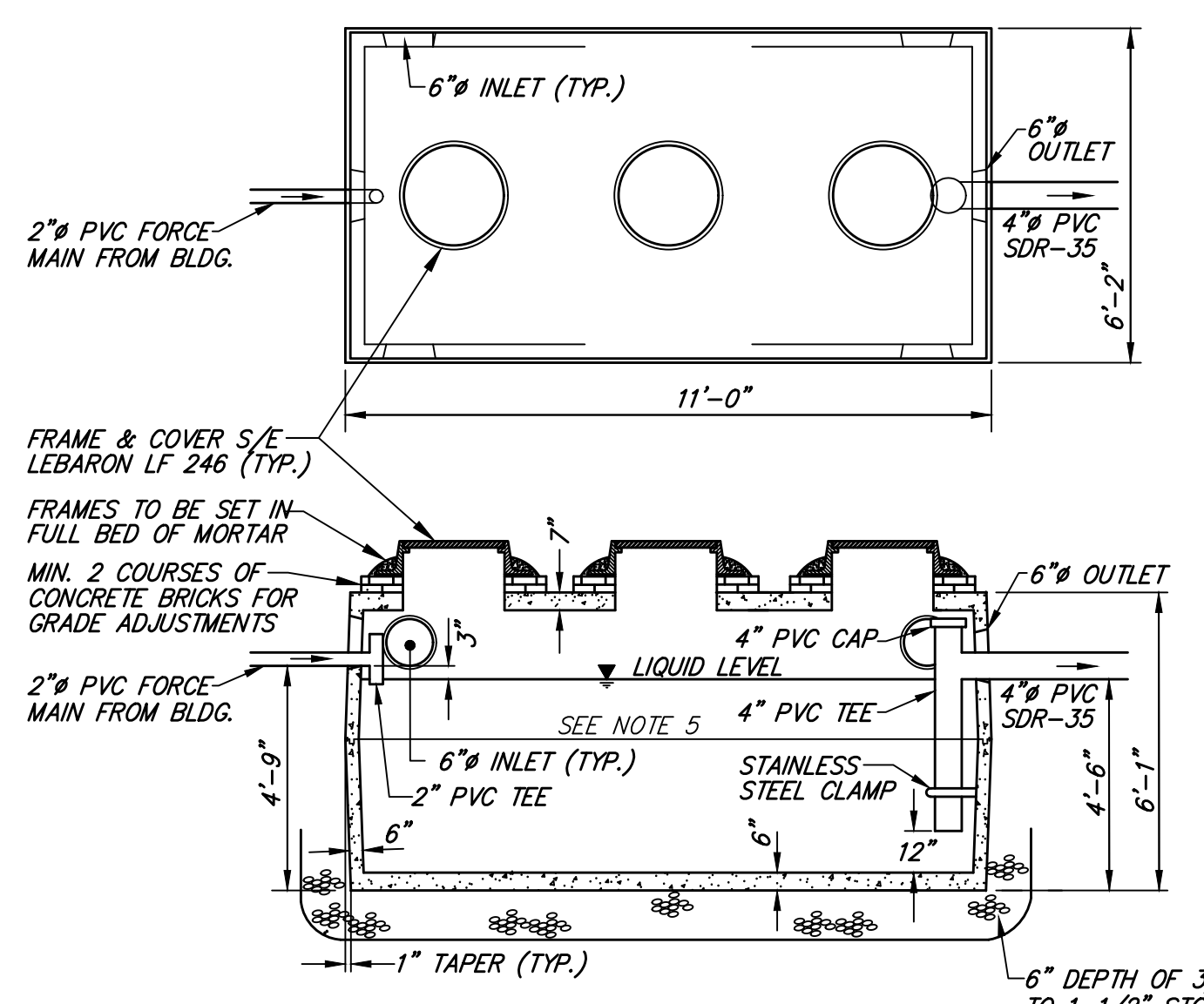
NOTES:  
 [1] PLACE 3/4"± GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL, 8"-DEEP, LOOSE LAYERS; COMPACT TO 95% PER ASTM D-1557.  
 [2] MINIMUM WIDTH OF TRENCH MEASURED AT THE SPRINGLINE OF THE PIPE, INCLUDING ANY NECESSARY SHEATHING.

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

- [3] INSTALL PIPE IN CENTER OF TRENCH.
- [4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
- [5] MINIMUM COVER OVER TOP OF PIPE:

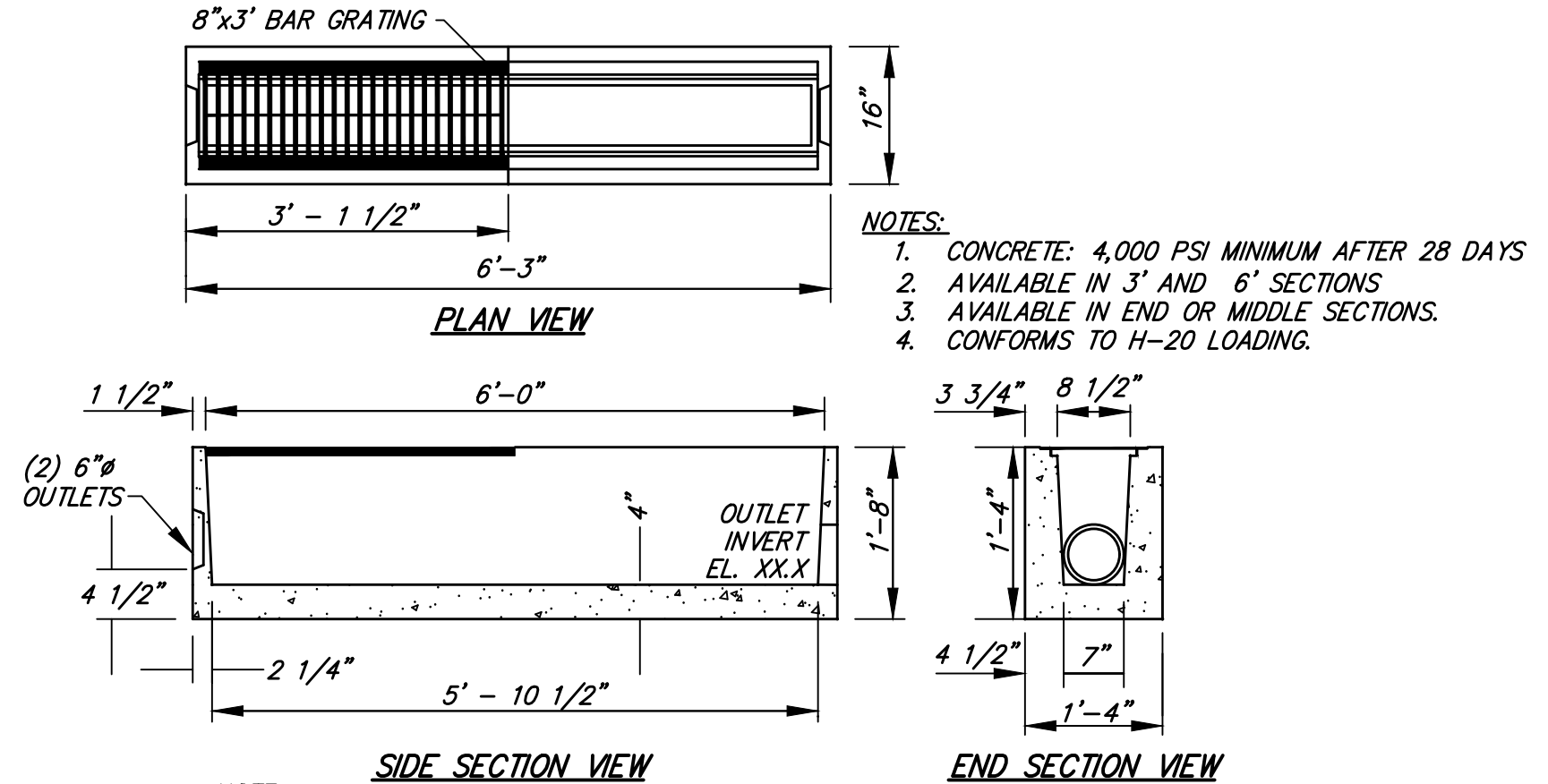
PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	1'-6"	1'-0"

[6] FOR FOUNDATION STABILIZATION, USE 2"± CRUSHED STONE.



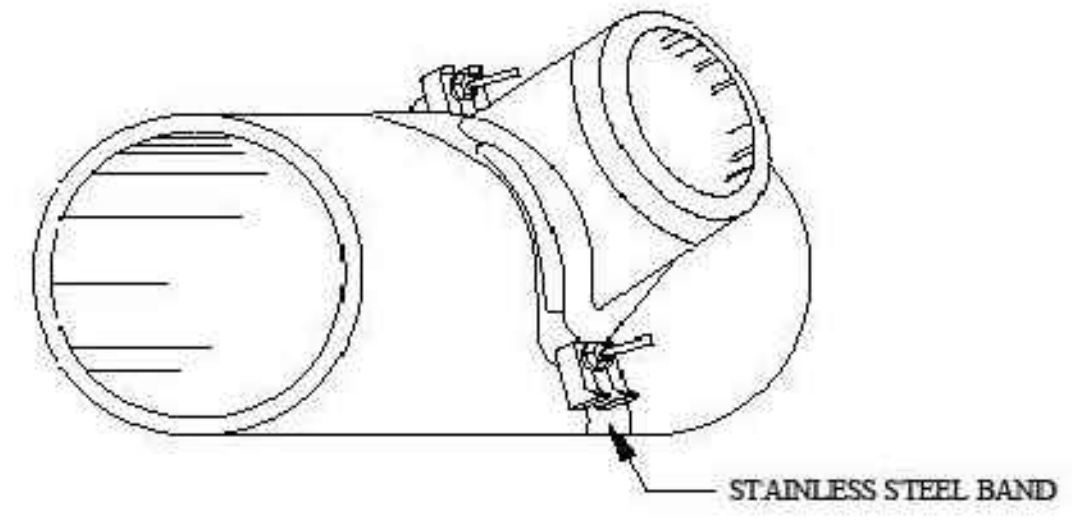
- NOTES:  
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS., FOR SEPTIC TANKS.  
 3. ALL REINFORCEMENT PER ASTM C1227-93.  
 4. DESIGNED FOR H-20 LOADING.  
 5. TONGUE-&-GROOVE JOINT SEALED WITH BUTYLE RESIN.  
 6. TEES SOLD SEPARATELY.

1500-GALLON GREASE TRAP NOT TO SCALE

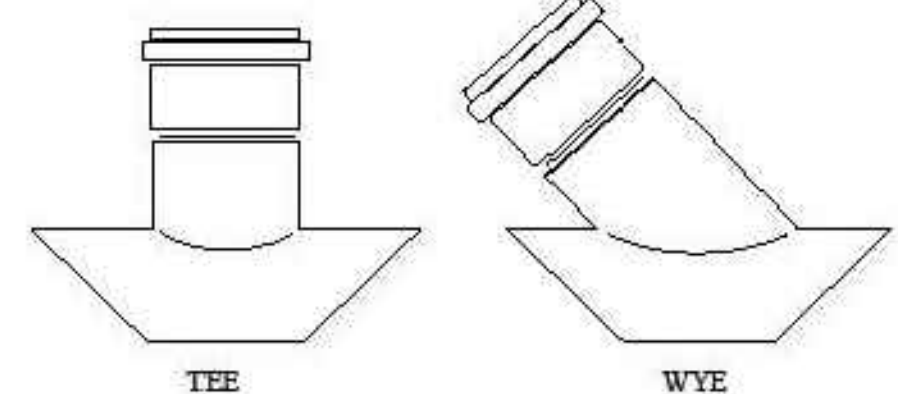


- NOTES:  
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS  
 2. AVAILABLE IN 3' AND 6' SECTIONS  
 3. AVAILABLE IN END OR MIDDLE SECTIONS.  
 4. CONFORMS TO H-20 LOADING.

TRENCH DRAIN NOT TO SCALE

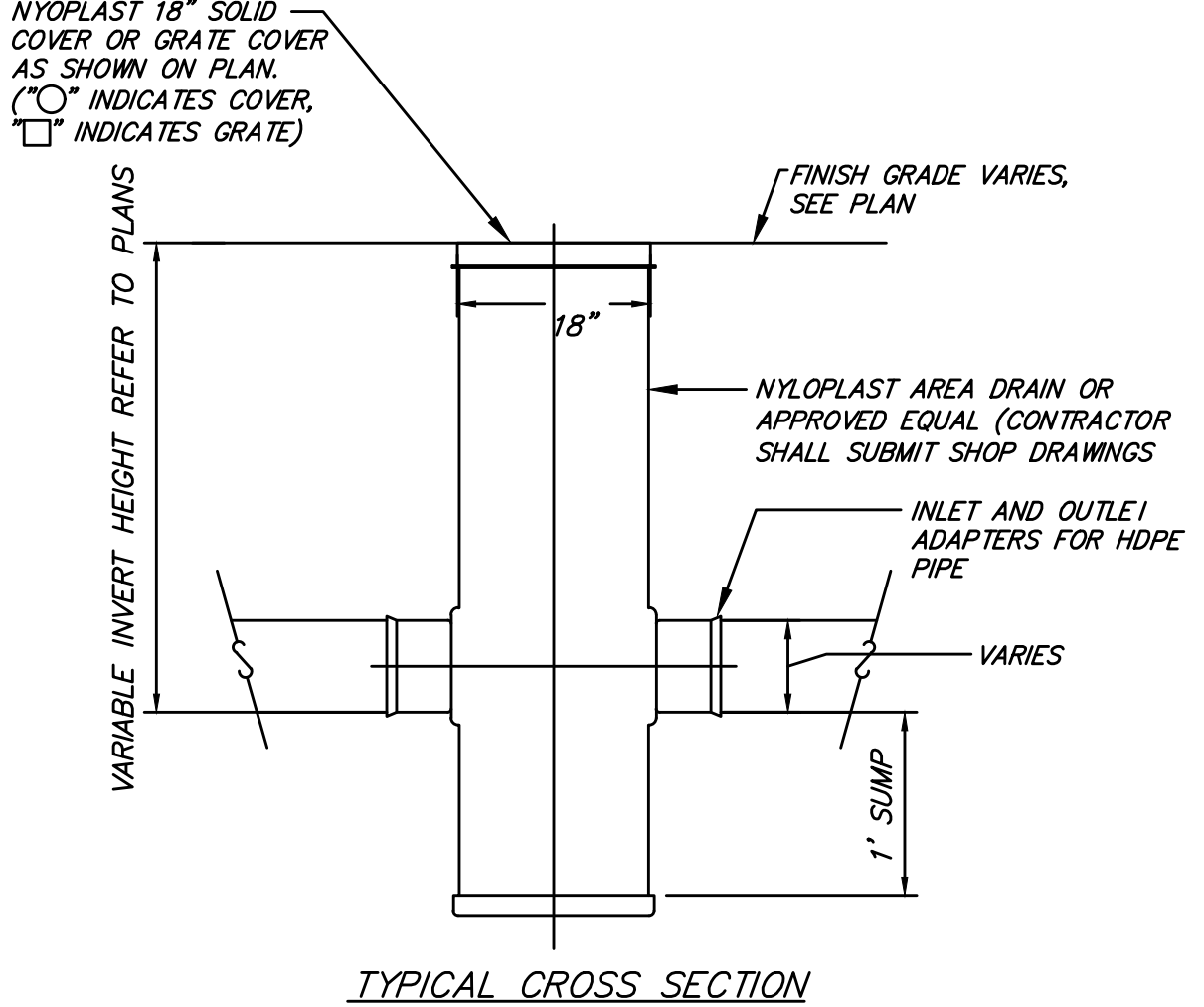


- NOTE:  
 1. CORE 6" DIAMETER HOLE  
 2. USE NEOPRENE GASKET

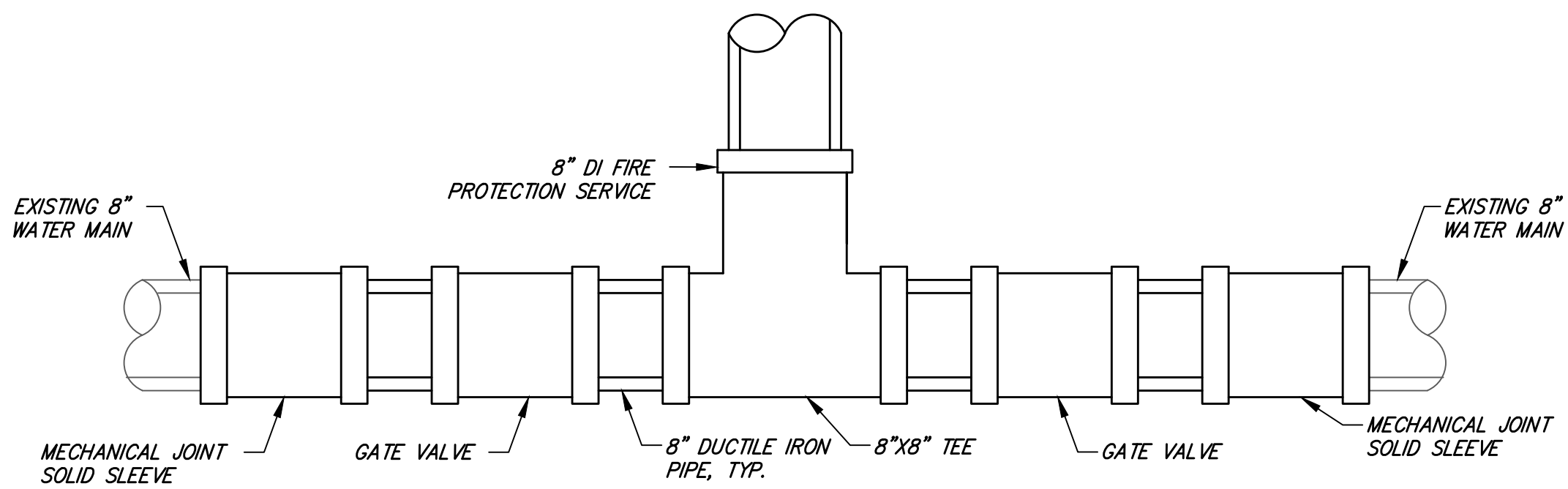


TYPICAL DETAIL OF WYE & TEE SADDLES FOR 6" LATERAL SEWER CONNECTIONS

SEPTEMBER 25, 2009	DEPARTMENT OF PUBLIC WORKS AND PARKS Engineering Division 20 East Worcester St., Worcester MA 01604				
WYE & TEE SADDLES FOR 6\"/>					
NOT TO SCALE					
SHEET 1 OF 1					



AREA DRAIN (AD) NOT TO SCALE



FIRE PROTECTION SERVICE CONNECTION ASSEMBLY NOT TO SCALE

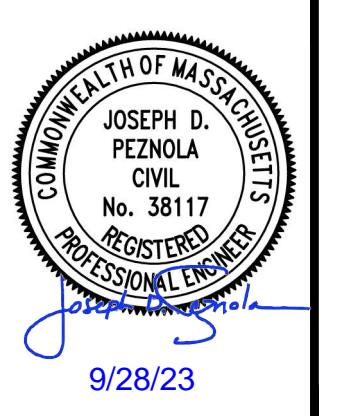
SITE ADDRESS:  
**CITY SQUARE  
 EATON PLACE**  
 3 Eaton Place  
 Worcester, Massachusetts 01608

ASSESSORS:  
 MAP 2 BLOCK 23B LOT 00A-1

PREPARED FOR:  
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DATE:	9/28/2023	DESIGN BY:	RMO	
SCALE:		DRAWN BY:	RMO	
APPROVED BY:	JDP	CHECK BY:	KAC	

DETAIL SHEET 2  
 PLOT DATE: Sep 27, 2023 12:54 pm  
 DWG: 26660D.SP.dwg  
 LAYOUT: DET2  
 SHEET: 7 OF 7  
 PROJECT NO.: 26660